

DIVISION OF CONSTRUCTION & DEMOLITION DEBRIS RATE:

1. A MINIMUM OF 65% OF GENERATED DEBRIS SHALL BE RECYCLED, REUSED, OR DIVERTED FROM THE ANDFILL. A \$50 ADMINISTRATIVE FEE AND A REFUNDABLE DEPOSIT WILL BE COLLECTED AT THE TIME OF PERMIT ISSUANCE. THE DEPOSIT CAN BE REFUNDED IF RECYCLING RECEIPTS ARE SUBMITTED TO BUILDING DIVISION WITHIN 60 DAYS OF PERMIT FINAL (BMC 9-1-10.1012).

REBACK CERTIFICATION REQUIREMENT:

1. A CALIFORNIA STATE LICENSED SURVEYOR IS REQUIRED TO CERTIFY THE LOCATION AND SETBACKS OF ALL NEW CONSTRUCTION PRIOR TO THE FIRST FOUNDATION INSPECTION. A COPY OF THE CERTIFICATION SHALL BE AVAILABLE TO THE BUILDING DIVISION INSPECTOR FOR THE CD FILE PRIOR TO THE FIRST INSPECTION. (BMC 9-1-1.103.1.1)

GENERAL NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 EDITION OF THE CBC, CRC, CMC, CPC AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THIS JURISDICTION.
- SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADINGS, AND DEMOLITION.
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-1.3392.3)
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON THE SITE (BMC 9-1-1.3305)
- THE FINISH GRADE SHALL SLOPE A MIN OF 5% OR 6" TO A POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DRAINING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2% (CRC 1401.3)
- THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2% (CRC 1403.1, 7.3)

CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN):

1. STORM WATER DRAINAGE AND RETENTION SEC. 4.104.2. SHOW HOW THE PROJECT WILL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION THROUGH USE OF RETENTION BASINS, FILTERING BY A BARRIER SYSTEM, OR COMPLIANCE WITH THE STORM WATER MANAGEMENT ORDINANCES.

- SURFACE DRAINAGE SEC. 4.104.3. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINING SYSTEM WILL MANAGE WATER FLOWS AND KEEP SURFACE WATER FROM ENTERING BUILDINGS THROUGH THE USE OF SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, OR WATER RETENTION GARDENS.
- OUTDOOR WATER USE SEC. 4.304. WEATHER OR SOIL MOISTURE BASED AUTOMATIC IRRIGATION CONTROLLERS FOR LANDSCAPE IRRIGATION SYSTEMS SHALL AUTOMATICALLY ADJUST IN RESPONSE TO WEATHER CONDITIONS. WEATHER BASED CONTROLLERS WITHOUT WIRELESS DATA RECORDERS SHALL HAVE A SEPARATE WIRED OR WIRELESS DATA SENSOR WHICH COMMUNICATES WITH THE CONTROLLER.
- OUTDOOR POSSIBLE WATER USE IN LANDSCAPE IRRIGATION 4.304.1 AFTER DEC 1, 2016 NEW RESIDENTIAL DEVELOPMENTS WITH AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 S.F. SHALL COMPLY WITH ONE OF THE FOLLOWING OPTIONS:
 - A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) WHICHEVER MORE STRINGENT OR
 - PROJECTS WITH AGGREGATE LANDSCAPE AREA LESS THAN 2,500 S.F. MAY COMPLY WITH THE MWELO'S APPENDIX D PRESCRIPTIVE COMPLIANCE OPTION.
 - JOBES AND OPENINGS SEC. 4.406.1. OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SHALL BE SEALED IN ACCORDANCE WITH CALIFORNIA ENERGY CODE REQUIREMENTS. ANULAR SPACES OR OPENINGS IN FLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH GEMENT MORTAR, CONCRETE MASONRY, OR A MASON APPROVED METHOD TO PREVENT THE PASSAGE OF RODENTS.
 - CONSTRUCTION WASTE MANAGEMENT 4.408.1. RECYCLE AND/OR SAVAGE FOR REUSE A MINIMUM 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
 - COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE OR
 - A CONSTRUCTION WASTE MANAGEMENT PLAN PER SECTION 4.408.2 OR
 - A WASTE MANAGEMENT COMPAINT PER SECTION 4.408.3 OR
 - THE WASTE STREAM REDUCTION ALTERNATIVE PER SECTION 4.408.4
 - BUILDING MAINTENANCE AND OPERATION SEC. 4.410. BUILDING MANUAL: AT THE TIME OF FINAL INSPECTION, A MANUAL CONTRACT DISC OR OTHER APPROVED MEAN SHALL BE PLACED IN THE BUILDING THAT CONTAINS THE INFORMATION SPECIFIED IN CALGREEN SEC. 4.410.
 - COVERING DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT SEC. 4.504.1. COVERING OF OPENINGS DURING CONSTRUCTION: ALL DUCTS AND AIR DISTRIBUTION OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEETMETAL DURING STORAGE ON THE SITE AND BY THE TIME OF ROUGH INSTALLATION THROUGH FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.
 - FINISH MATERIAL POLLUTANT CONTROL SEC. 4.504.2. FINISH MATERIAL POLLUTANT CONTROL: THE FOLLOWING FINISH MATERIALS SHALL COMPLY WITH THE VOC CONTENT LIMITS SET FORTH IN CALGREEN SECTIONS 4.504.2 THROUGH 4.504.5: ADHESIVES, SEALANTS AND CAULKS, PAINTS AND COATINGS, CARPET SYSTEMS, CUSHIONS AND ADHESIVE, RESILIENT FLOORING AND COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR.
 - MOISTURE CONTROL OF CONCRETE SLAB FOUNDATIONS SEC. 4.505.2. SHOW THE CAPILLARY BREAK INSTALLED FOR CONCRETE SLAB FOUNDATIONS.
 - MOISTURE CONTENT OF BUILDING MATERIALS SEC. 4.505.3. MOISTURE CONTENT OF MATERIALS REQUIREMENT: BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION WHICH IS VAPOR BARRIER OR HAS HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
 - BAFFLE/COM EXHAUST FANS SEC. 4.506.1. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM ATTROOHS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING AND CONTROLLED BY A READYLY ACCESSIBLE HANDSTAR OR A WHOLE HOUSE VENTILATION SYSTEM.
 - WHOLE HOUSE EXHAUST FAN SEC. 4.507.1. WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF THAT HAVE A MIN. INSULATION VALUE OF R-4.2
 - HEATING AND AIR CONDITION DESIGN SEC. 4.507.2. SYSTEM SHALL BE SIZED, DESIGNED, AND SPECIED ACCORDING TO ACCA, ASHRAE OR EQUIVALENT DESIGN SOFTWARE OR METHODS.

- ENERGY EFFICIENCY
- BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE 2016 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.

STORM WATER MANAGEMENT:

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
- STACKS OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR USINGS AND ARE NOT TO CONTAMINATE THE SOIL. ADOPTED WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. OILS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-TOXIC MATERIALS MUST BE PROTECTED FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONFINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERAL BY WIND.
- SEDIMENT AND OTHER MATERIALS MAY NOT BE RICHED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
- ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR REDUCED VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

FIRE SPRINKLERS:

- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH CRC R313.3 OR NFPA 13D. A SEPARATE PERMIT IS REQUIRED FROM THE BURBANK FIRE DEPARTMENT. FOR QUESTIONS ABOUT SPRINKLER REQUIREMENTS, CALL THE FIRE DEPT. AT 818-238-3473.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.

FIRE HAZARD SEVERITY ZONE REQUIREMENTS (BMC 9-1-1.701A.1.1):

- ROOFS, ROOF COVERINGS ON BUILDINGS OR STRUCTURES SHALL BE A CLASS A ROOF COVERINGS OR A CLASS A ROOF ASSEMBLY, WOOD SHAKE OR SHINGLE ROOFING IS NOT PERMITTED IN THE FIRE HAZARD SEVERITY ZONE (BMC 9-1-1.1501.1.1), WHERE THE ROOF COVERING PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE AND RAKE SHALL BE FIRE STOPPED.
- EAVES, EAVES AND SOFFITS SHALL BE PROTECTED ON THE EXPOSED UNDERSIDE AS REQUIRED FOR EXTERIOR ONE-HOUR-RATED FIRE RESISTIVE CONSTRUCTION, 2-INCH NOMINAL DIMENSION LUMBER, OR 1-INCH FIRE-RETARDANT-TREATED LUMBER, OR 2" NOMINAL FIRE-RETARDANT-TREATED PLYWOOD. FASCIAS ARE REQUIRED SHALL BE OF 2 INCH NOMINAL DIMENSION LUMBER MINIMUM OR PROTECTED ON THE BACKSIDE BY MATERIALS APPROVED FOR MINIMUM OF 1 HOUR FIRE RESISTANCE RATED CONSTRUCTION.
- GUTTERS AND DOWNSPOUTS, NONCOMBUSTIBLE GUTTERS AND DOWNSPOUTS.
- EXTERIOR WALLS, CONSTRUCTED OF ONE HOUR RATED FIRE RESISTIVE CONSTRUCTION ON THE EXTERIOR SIDE OR CONSTRUCTED WITH APPROVED NONCOMBUSTIBLE MATERIALS. SUCH MATERIAL SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING. EXCEPTION: WHEN OVER 1" TYPE X GYP BD OR ALUMINUM OVER 1" TYPE X GYP BD, WOOD SIDING, HARDBOARD SIDING OR PLYWOOD SIDING ARE NOT PERMITTED IN THE FIRE HAZARD SEVERITY ZONE.
- PROJECTION FROM BUILDINGS: ARCHITECTURAL PROJECTIONS SHALL BE PROTECTED ON EXPOSED SURFACES AS REQUIRED FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION.
- BALCONIES, DECKS, PORCHES AND PATIOS, UNENCLOSED ACCESSORY STRUCTURES ATTACHED TO BUILDING WITH HABITABLE SPACES SHALL BE A MINIMUM ONE HOUR FIRE RESISTIVE CONSTRUCTION, HEAVY TIMBER CONSTRUCTION, APPROVED NONCOMBUSTIBLE MATERIALS, OR FIRE RETARDANT TREATED WOOD. UNENCLOSED BALCONIES, DECKS, PORCHES MAY BE CONSTRUCTED OF:
 - COLUMNS: 6X6 INCHES MINIMUM
 - BEAMS AND GIRDERS: 2X6 INCHES MINIMUM
 - JOISTS: 4X6 INCHES MINIMUM
 - ROOF AND FLOOR DECKING: 2 INCH TONGUE AND GROOVE PLANKS OR 1-1/8" TONGUE AND GROOVE PLYWOOD MINIMUM
- GLAZING, EXTERIOR WINDOWS, WINDOW WALLS AND GLAZED DOORS, WINDOWS WITH EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTI LAYERED GLASS BLOCK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. EXCEPTION: STAINED GLASS PANELS MAY BE INSTALLED PROVIDED A BACK PANEL OF TEMPERED GLASS IS INSTALLED BEHIND THE STAINED GLASS PANEL.
- DOORS, NONCOMBUSTIBLE EXTERIOR DOORS, 1-3/4" SOLID CORE WOOD, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. WINDOWS WITH EXTERIOR DOORS AND GLAZED DOORS SHALL BE IN ACCORDANCE WITH CBC 1927.6.3. EXCEPTION: GARAGE DOORS AND VEHICLE ACCESS DOORS.
- VENTS AND FOUNDATION OPENINGS, ATTIC VENTILATION, FOUNDATION AND UNDER FLOOR VENTS OR OTHER VENTILATION OPENINGS IN VERTICAL EXTERIOR WALLS, VENTS THROUGH ROOFS, AND VENTS SHALL NOT EXCEED 144 sq in EACH. VENTS SHALL BE COVERED WITH NONCOMBUSTIBLE, CORROSION RESISTANT MESH WITH OPENINGS NOT EXCEEDING 1/4". ATTIC VENTILATION OPENINGS SHALL NOT BE COVERED BY SOFFITS, IN EAVE OVERHANGS, BETWEEN ATTIC AT EAVES, OR IN OTHER OVERHANG AREAS. GABLE END AND DOWNER VENTS SHALL BE LOCATED AT LEAST 10 FEET FROM PROPERTY LINES (BMC 9-1-1.9327.6.2, 9-1-1.9806.1.1). UNDER FLOOR VENTILATION OPENINGS SHALL BE LOCATED AS CLOSE TO GRADE AS POSSIBLE.



Text
BUILDING DIVISION
Community Development Department
City of Burbank

WATER-CONSERVING PLUMBING FIXTURES
CERTIFICATE OF COMPLIANCE
(For buildings built on or before Jan. 1, 1994)

Project Address: _____ Permit No: _____

I certify, under penalty of perjury, as owner of this property, that noncompliant plumbing fixtures have been replaced with water-conserving plumbing fixtures in accordance with Civil Code Sections 1101.1 through 1101.8, the current California Plumbing Code and California Green Building Standards Code, and manufacturer's installation requirements, and that the water-conserving plumbing fixtures comply with the requirements as listed below.

Owner's Name: _____ Date: _____

Owner's Signature: _____

SINGLE-FAMILY RESIDENTIAL		CALGreen's CPC
Water Closet	1.28 gpi/flush	
Showerhead	2.0 gpi/flush	
Multiple Showerheads	2.0 gpi/flush combined	
Lavatory Faucet	1.5 gpi/flush	
Kitchen Faucet	1.5 gpi/flush	

MULTI-FAMILY RESIDENTIAL		CALGreen's CPC
Water Closet	1.28 gpi/flush	
Showerhead	2.0 gpi/flush	
Multiple Showerheads	2.0 gpi/flush combined	
Lavatory Faucet (public units)	1.5 gpi/flush	
Lavatory Faucet (common areas)	1.5 gpi/flush	
Kitchen Faucet	1.5 gpi/flush	

COMMERCIAL		CALGreen's CPC
Water Closet	1.28 gpi/flush	
Showerhead	2.0 gpi/flush	
Multiple Showerheads	2.0 gpi/flush combined	
Lavatory Faucet	1.5 gpi/flush	
Kitchen Faucet	1.5 gpi/flush	

RESIDENTIAL DEMOLITION NOTE:

- PARTIAL DEMOLITION OF A RESIDENTIAL STRUCTURE IN ASSOCIATION WITH A CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CBC APPENDIX CHAPTER 1 SEC. 113.2) AND/OR REVOCATION OF THE PERMIT (CBC APPENDIX CHAPTER 1 SEC. 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC. 10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED.

NOTE:

THE PROPOSED ADDITION DOES NOT INCLUDE ANY GRADING WORK.

WATER CONSERVATION:

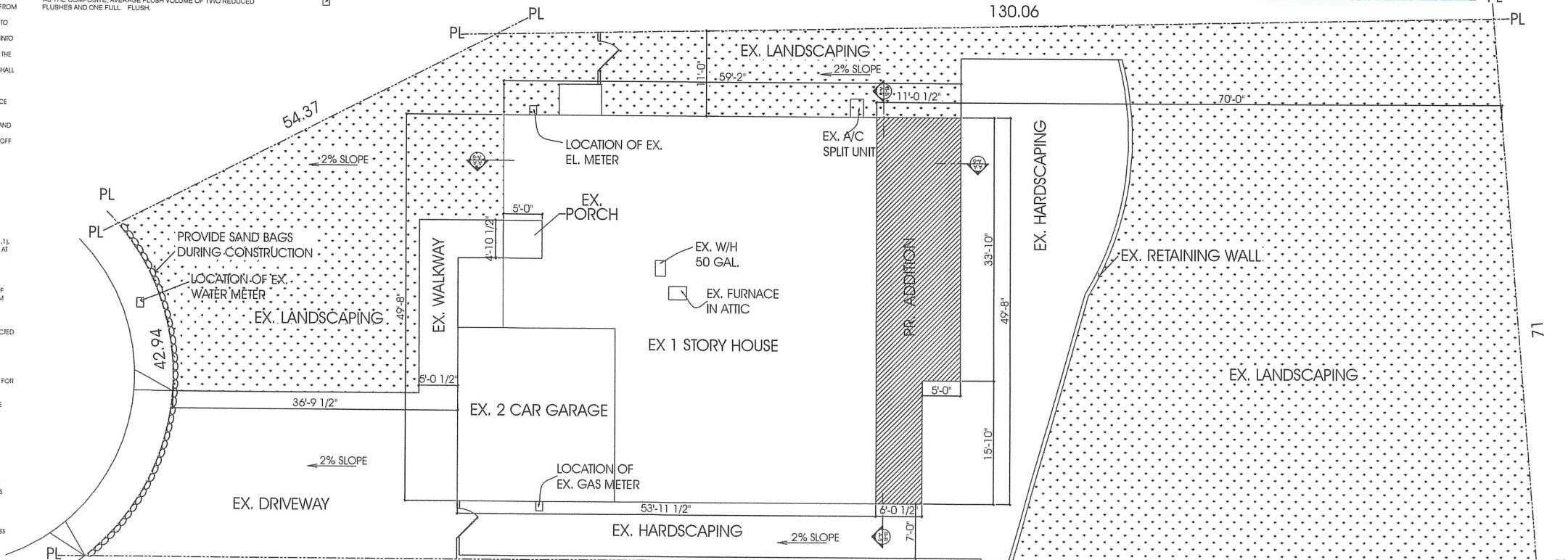
- THE PROJECT SHALL DEMONSTRATE A 20% REDUCTION IN WATER USE BY SPECIFYING PLUMBING FIXTURES AND FIXTURES THAT MEET THE FLOW RATES LISTED BELOW OR THROUGH A CALCULATION SHOWING A 20% REDUCTION FROM BASELINE VALUES LISTED IN CL GREEN TABLE 4.303.1.

SHOWERHEADS	2.0 GPM
LAVATORY FAUCET-RESIDENTIAL	1.5 GPM
KITCHEN FAUCETS	1.5 GPM
WATER CLOSETS	1.28 GALLONS PER FLUSH
URINALS	0.5 GALLONS PER FLUSH
METERING FAUCETS	0.2 GALLON PER CYCLE

NOTES:

THE COMBINED FLOW RATE OF MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE, OR THE SHOWER SHALL BE DESIGNED TO PERMIT ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. THE EFFECTIVE FLUSH VOLUME FOR DUAL-FLUSH TOILETS IS DEFINED AS THE COMPOSITE AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

LOCATION OF GAS METER



LEGEND:

- NEW ADDITION
- EX. HOUSE

LEGAL DESCRIPTION

ASSESSORS ID No: 2471-045-010
ADDRESS 3248 N. FREDERIC ST. BURBANK, CA 91504
(TRA): 00041
TRACT : TR 31 134
LOT 10

SCOPE OF WORK

467 S.F. ADDITION TO EXISTING SINGLE FAMILY DWELLING TO EXPAND EXISTING KITCHEN/DINING AND BEDROOM WITH A NEW FULL BATH

BUILDING TYPE

TYPE V-B
NUMBER OF STORIES: 1
SPRINKLERED: NO
EX. LIVING AREA: 1862 S.F.
PR. LIVING AREA: 467 S.F.
GARAGE AREA: 452 S.F.

BUILDING USE

SINGLE FAMILY RESIDENTIAL R-3

FAR CALCULATION

PROPERTY 11502 S.F.
EXISTING HOUSE. 1862 S.F.
EX. FRONT PORCH 24 S.F.
EX. ATTACHED GARAGE 452 S.F.
NEW ADDITION 467 S.F.

FAR:
1862 + 467 = 2329
2329 / 11502 = 20.2 %

LOT COVERAGE

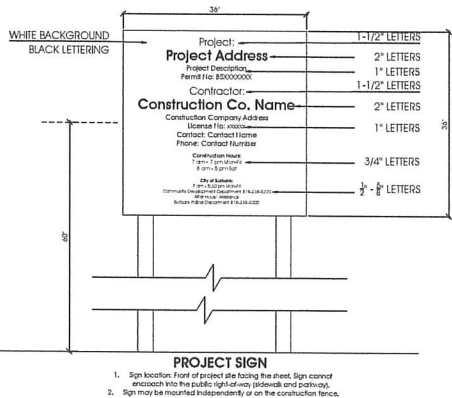
1862 + 452 + 467 + 24 = 2805
2805 / 11502 = 24.3%

APPLICABLE CODES

- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA GREEN BUILDING CODE (CALGREEN)

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ARCH-DESIGN
& CONSTRUCTION CO., INC.

TEL (818) 517-5224

409 IRVING DR.
BURBANK, CA 91504

ARMEN BOYAJYAN

PROPOSED ADDITION TO EX.S.F.R

3248 N.FREDERIC ST. BURBANK, CA 91504

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS

NO.	ISSUE	BY

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	
SHEET NUMBER:	

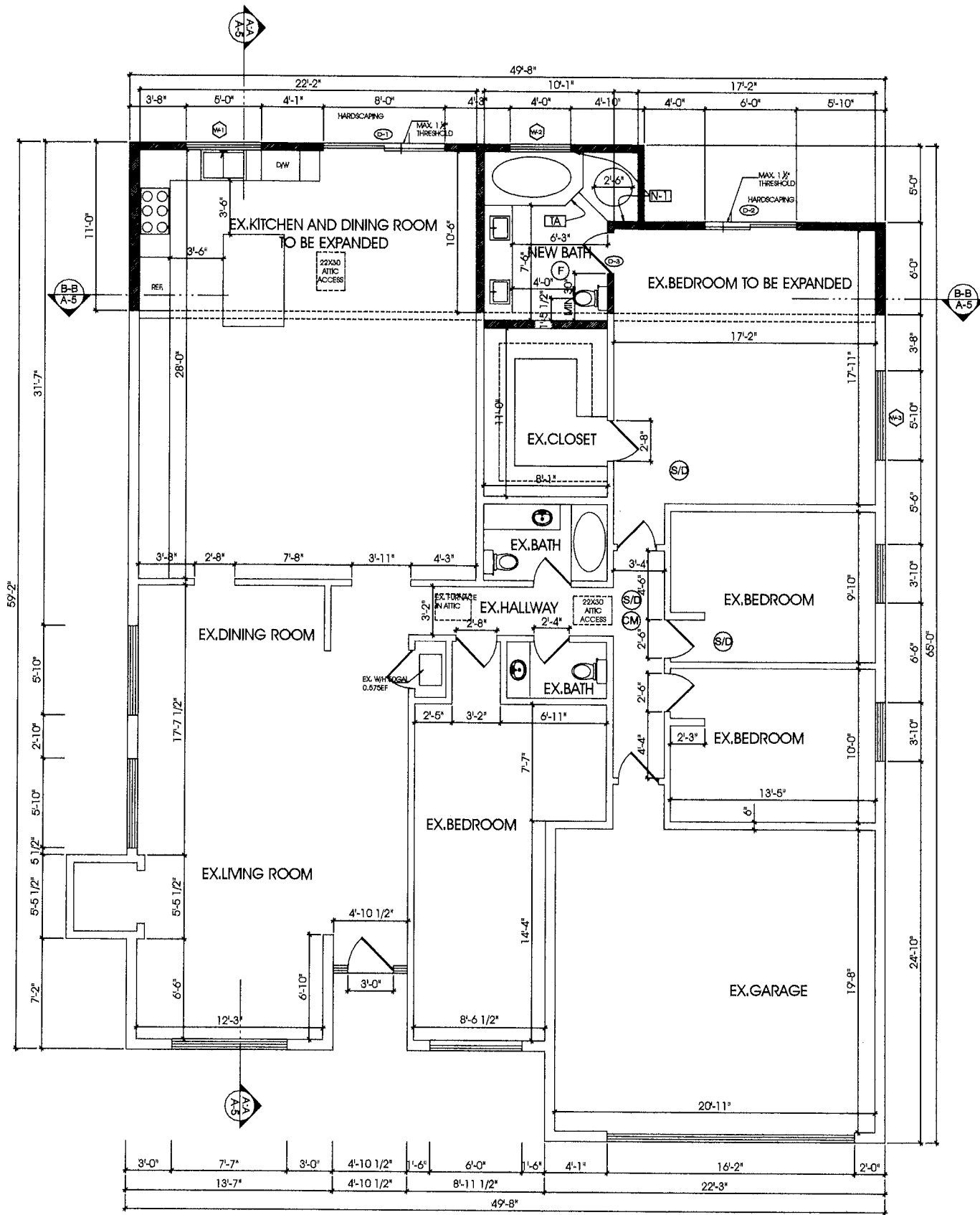
A-1

OF SHEETS

1 SITE PLAN

Scale: 1/8"=1'-0"





1 FLOOR PLAN

Scale: 1/4"=1'-0"

LEGEND:

- (S/D) HARD-WIRED SMOKE DETECTOR WITH BATTERY BACK UP. A SMOKE DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA. BATTERY OPERATED SMOKE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- (F) ELECTRICAL FAN WITH MIN. 5 AIR CHANGE PER HOUR TO OUTSIDE. 50CFM. ELECTRICAL FAN MUST BE CONNECTED TO THE LIGHT SWITCH. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- (CM) CARBON MONOXIDE DETECTOR
- PROVIDE 72" NON-ABSORBENT WALL SURFACE IN ALL BATH-TUB AND SHOWER COMPARTMENTS.
- (N-1) 12"x12" PLUMBING ACCESS
- (A) 12"x12" PLUMBING ACCESS
- EXIST. WALL TO REMAIN
- EXIST. WALL TO BE REMOVED
- NEW STUD WALLS 2X4 @ 16 O.C.

(NOTE: SMOKE ALARMS SHALL COMPLY WITH SPECIFIC LOCATION REQUIREMENTS PER NFPA 72 SECTION 29.8.3.4)

SMOKE ALARM REQUIREMENTS

a. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION/REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING 1000\$. (CIRC R 14.1, R314.6.2a.1)

b. BATTERY OPERATED SMOKE ALARMS PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING. (CIRC R314.4, EXCEPTIONS 1,3)

c. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CIRC R314.6)

d. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CIRC R314.4)

CARBON MONOXIDE ALARM REQUIREMENT

a. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION/REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING 1000\$. (CIRC R315.1, R315.2.2)

b. CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP. (CIRC R315.1.2)

c. CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL2075, AND MAINTAINED PER NFPA 720. (CIRC R315.1, R315.1.1)

d. CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE OF THE BEDROOMS AND ONE EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT. (CIRC R315.2.6)

e. CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT. (CIRC R315.1.3, R315.2.6)

f. IN EXISTING DWELLING UNIT A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES. (CIRC R315.2.4 EXCEPTIONS 2)

WINDOW SYMBOL

NEW WINDOW SCHEDULE

SYMBOL	SIZE WIDTH x HEIGHT	MATERIAL	TYPE	GLAZING	NOTES
W-1	5'-0" X 3'-0"	VINYL	SLIDING	DUAL GLAZE	TEMPERED
W-2	4'-0" X 2'-0"	VINYL	FIXED	DUAL GLAZE	TEMPERED
W-3	5'-10" X 4'-0"	VINYL	SLIDING	DUAL GLAZE	TEMPERED

NOTE: FOR ALL WINDOWS U-FACTOR: 0.30 AND SHGC: 0.22

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 S.F. WHEN ABOVE THE GRADE FLOOR AND 5.5 S.F. ON THE GRADE FLOOR, A MINIMUM NET HEIGHT OF 24" AND MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISH FLOOR.

ALL GLAZING (EXTERIOR WINDOWS, WINDOWS WALLS AND GLAZING DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS) SHALL BE TEMPERED GLASS, MULTI LAYERED GLASS PANELS, GLASS BLOCK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.

NOTE: THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCLUDING TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

DOOR SYMBOL

NEW DOOR SCHEDULE

	DOOR SIZE WIDTH HEIGHT	MAT.	TYPE	REMARKS
D-1	8'-0" 6'-8"	VINYL	DUAL GLAZED, SLIDER	TEMPERED
D-2	6'-0" 6'-8"	VINYL	DUAL GLAZED, SLIDER, EGRESS	TEMPERED
D-3	2'-8" 6'-8"	HOLLOW CORE	SWING	

NOTE: FOR ALL GLAZED DOORS U-FACTOR: 0.30 AND SHGC: 0.22

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OWNER
ARMEN BOVAJAN

PROJECT
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LOCATION
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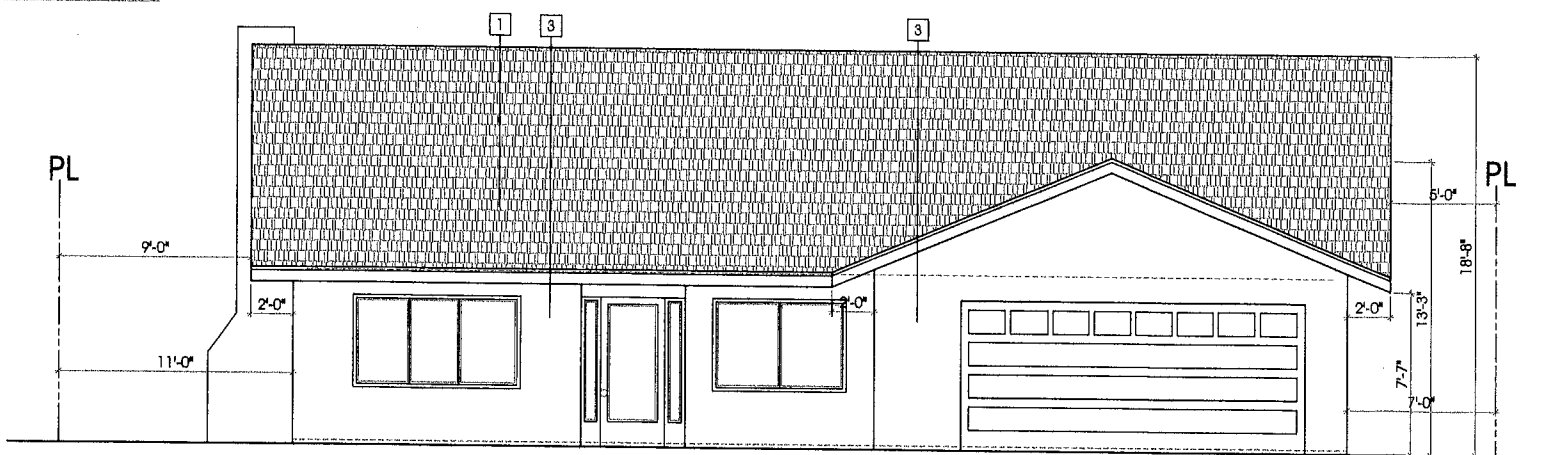
NO.	ISSUE	BY

DRAWN BY: A.A.
CHECKED BY: ARAM M.
DESIGN BY: ARAM M.
SCALE:
DATE:
JOB NO:

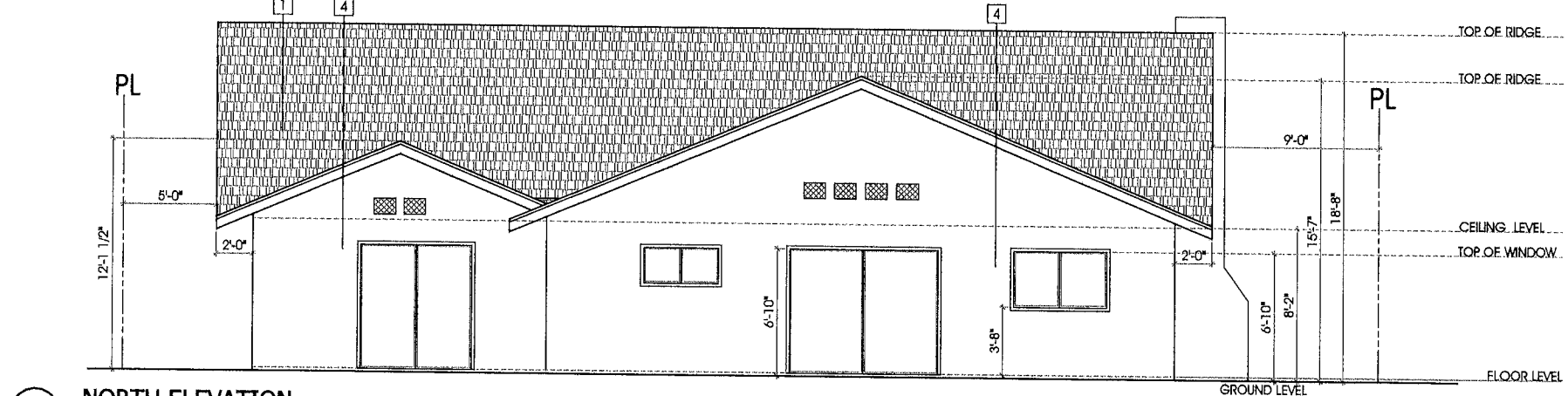
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A-2

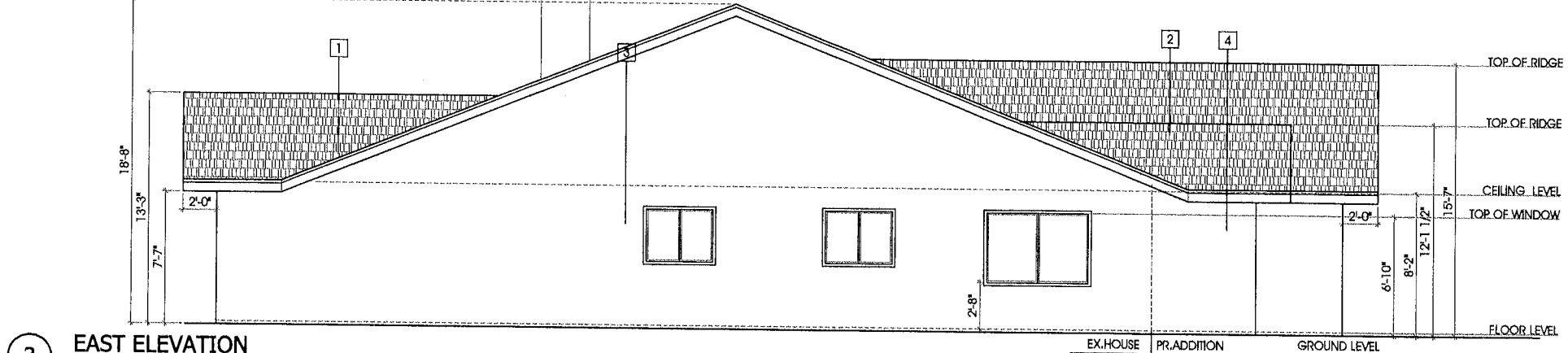
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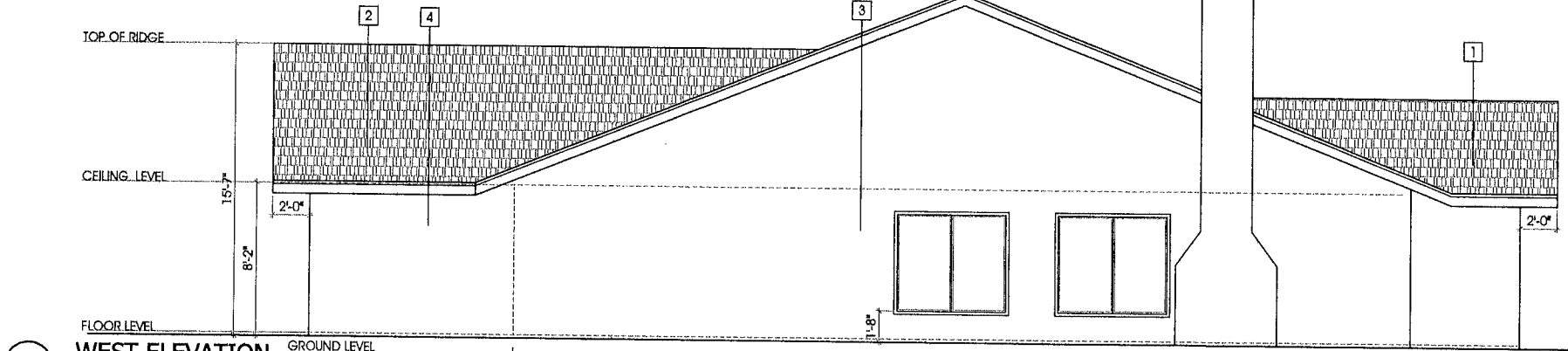
1 SOUTH ELEVATION (NO CHANGES)
Scale: 1/4"=1'-0"



2 NORTH ELEVATION
Scale: 1/4"=1'-0"



3 EAST ELEVATION
Scale: 1/4"=1'-0"



4 WEST ELEVATION
Scale: 1/4"=1'-0"

EXTERIOR FINISHES

- 1 EX. CLASS "A" COMPOSITION SHINGLE
- 2 CLASS "A" COMPOSITION SHINGLE TO MATCH EX.
- 3 EX. 7/8" STUCCO
- 4 7/8" STUCCO TO MATCH EX.

NOTE:

ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR REMOVAL OF NON-APPROVED WORK.

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OWNER: ARMEN BOYAJYAN

PROJECT: PROPOSED ADDITION TO EX.S.F.R

LOCATION: 3248 N.FREDERIC ST. BURBANK, CA 91504

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NO.	ISSUE	BY

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CHECKED BY: ARAM M.

DESIGN BY: ARAM M.

SCALE:

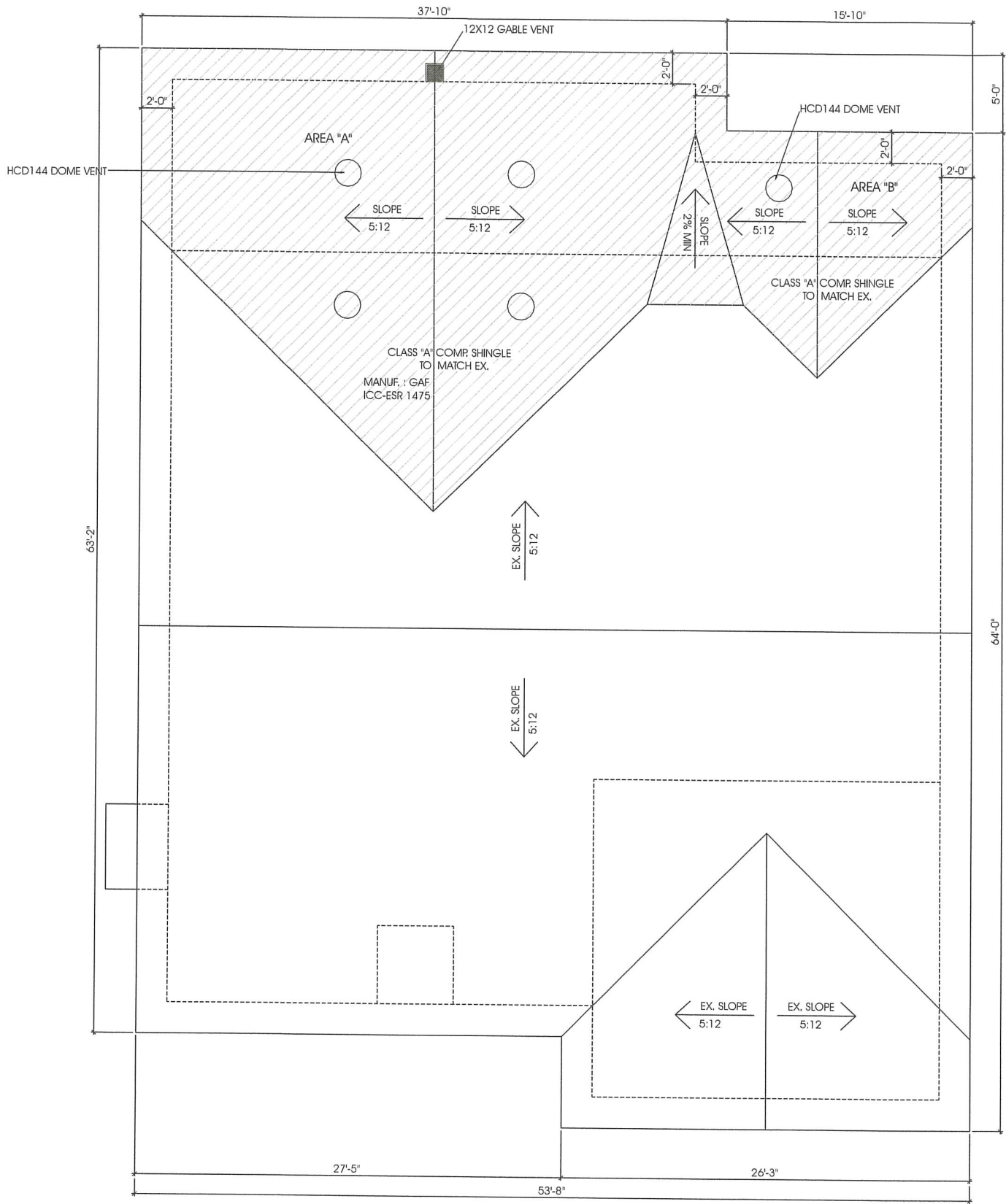
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SHEET NUMBER:

A-3

OF SHEETS



5 ROOF PLAN
Scale: 1/4"=1'-0"

ROOFING NOTES:

- ROOFING MATERIAL: CLASS "A" COMPOSITION SHINGLE
- ROOFING MANUFACTURER: GAF
- ROOFING ICC-ESR: 1475
- ROOFING INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

ATTIC VENT CALCULATION:

NEW ATTIC AREA "A": 641.4 S.F.
REQUIRED VENTILATION AREA: 641.4/150 = 4.276 S.F. OR 615.75 S.I.

PROVIDED: 144 S.I. X 4 = 576
576 + 60 = 636
636 > 615.75

12X12 ATTIC VENT = 60 S.I. NFA EACH (1 PROVIDED)

HCD144 DOME VENT = 144 S.I. NFA EACH (4 PROVIDED)

ATTIC VENT CALCULATION:

NEW ATTIC AREA "B": 145.4 S.F.
REQUIRED VENTILATION AREA: 145.4/150 = 0.97 S.F. OR 139.6 S.I.

PROVIDED: 144 S.I. X 1 = 144
144 > 139.6

HCD144 DOME VENT = 144 S.I. NFA EACH (1 PROVIDED)

ATTIC VENTILATION NOTES:

- GABLE VENT SPEC: GAF DA12x12
- DOME VENT SPEC: GAF HCD144

Roof & Gable Louvers

IR61 Slant Back Plastic Roof Louver

- Slant Back Design...** Low profile for better appearance
- Good Ventilation...** Full 37 sq. in. of net free ventilating area (NFA) per vent
- Homeowner's Choice...** High-impact plastic resin construction looks great for years
- 4 Popular Colors...** To complement most roofs (Black, Brown, Gray, Weathered Wood)
- Easy To Install...** Pre-drilled nail holes make installation easier
- UV Inhibitors...** Help to maintain consistent color

RV50A/RV50G & R50A Square Top Metal Roof Louvers

- Perfect Utility Vents...** For kitchen duct outlets, bathroom fan exhausts, and attic ventilation
- Large Capacity...** Full 50 sq. in. of net free ventilating area (NFA) per vent
- Optional Thread Design & Construction Available...**
- Round Thread:** Aluminum (RV50A) or galvanized (RV50G)
- Square Thread:** Aluminum (R50A)
- Popular Colors...** To complement most roofs (Black, Brown, MJ, Weathered Wood)

HCD144 High-Capacity Dome Vent

- High-Capacity...** 144 sq. inches of Net Free Area helps exhaust hot and moist air from the attic
- One Piece Design...** While high-impact plastic construction for long life
- Easy To Install...** Installs like a typical roof vent and without the need for electrical hookup
- Three Popular Colors...** Black, Weathered Wood, and MJ
- Durable Construction...** Galvanized steel with included heavy-duty internal screen

Gable Louvers – Intake /Exhaust Ventilation

Aluminum & Plastic Gable Louvers DA & SL Series

For use in intake or exhaust applications, Master Flow® offers a line of versatile plastic and aluminum gable louvers, as well as the perfect solution for loadbearing or optional areas – our circular louvers. (See page 19 for sizes and specifications)

- Aluminum Gable Louvers...** Available in painted white or unfinished metal (SL Series)
- Thermofomed Plastic Gable Louvers...** One-piece integral louvered construction provides exceptional strength and eliminates the need for a screen (SL Series)
- Slant Design...** For full or recessed ventilation (See page 19 for sizes and specifications)

RLSC Plastic Circular Louvers

RLSC Series

Recommended for hand/ventilate or other restricted areas

- Easy To Install...** Just cut appropriately sized hole and snap in place
- One Piece Design...** While high-impact plastic construction for long life
- Durable...** Contains UV inhibitors for long-lasting durability
- Versatile...** Available in 2", 3", or 4" sizes

PRODUCT SPECIFICATIONS & USAGE RECOMMENDATIONS (Based on 1/300 Rule)

S58P60A / S58P60G			RV50A/RV50G & R50A		
Net Free Area (sq. ft.)	Recommended Number of Louvers	Minimum Net Free Area (sq. ft.)	Net Free Area (sq. ft.)	Recommended Number of Louvers	Minimum Net Free Area (sq. ft.)
0-1000	4	240	0-1000	5	250
1001-1500	6	360	1001-1500	8	400
1501-2000	8	480	1501-2000	10	500
2001-2500	10	600	2001-2500	12	600
2501-3000	12	720	2501-3000	15	750

HCD144		
Net Free Area (sq. ft.)	Recommended Number of Louvers	Minimum Net Free Area (sq. ft.)
0-1000	2	288
1001-1500	3	432
1501-2000	4	576
2001-2500	5	720

Aluminum Gable Louvers		
Model	Size (in.)	Net Free Area (sq. ft.)
DA12x12	12" x 12"	144
DA12x18	12" x 18"	216
DA18x24	18" x 24"	432
DA18x30	18" x 30"	540
DA24x30	24" x 30"	720

Thermofomed Plastic Gable Louvers		
Model	Size (in.)	Net Free Area (sq. ft.)
SL12x12	12" x 12"	144
SL12x18	12" x 18"	216
SL18x24	18" x 24"	432
SL18x30	18" x 30"	540

RLSC Series Circular Louvers		
Model	Size (in.)	Net Free Area (sq. ft.)
RLSC2	2"	1.50
RLSC3	3"	3.20
RLSC4	4"	5.17

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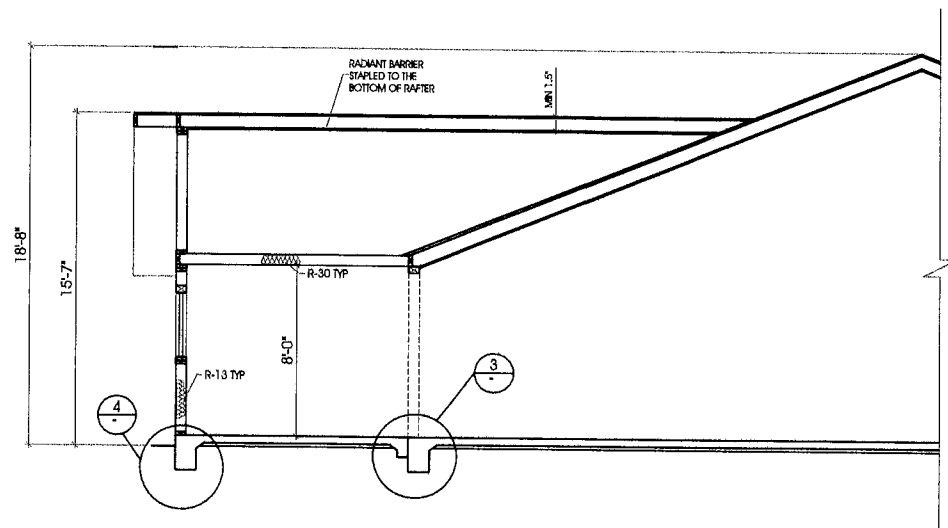
REVISIONS		
NO.	ISSUE	BY

DRAWN BY	A.A.
CHECKED BY	ARAM M.
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SCALE	
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JOB NO.	

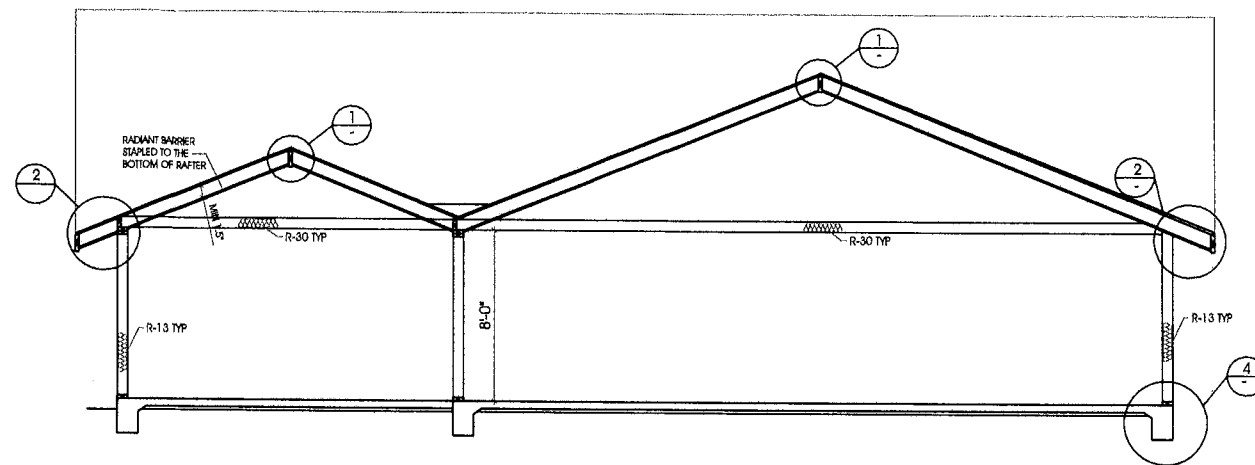
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A-4

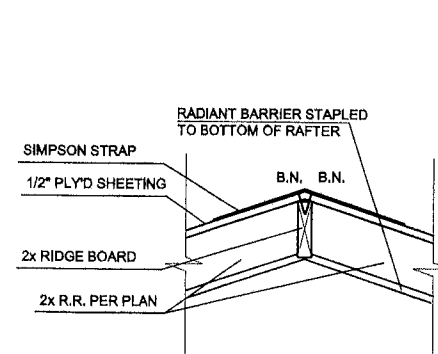
OF SHEETS



6 PARTIAL SECTION A-A
Scale: 1/4":1'-0"

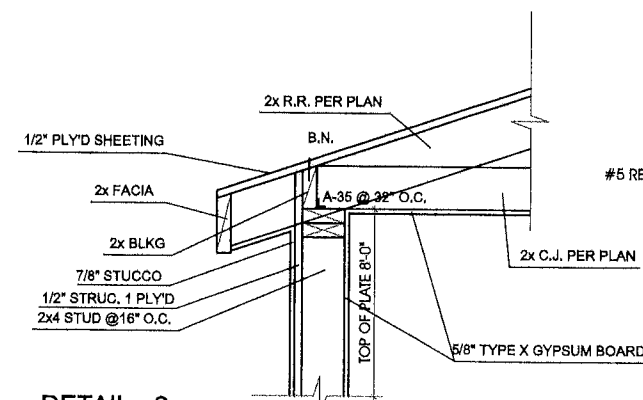


7 SECTION B-B
Scale: 1/4":1'-0"

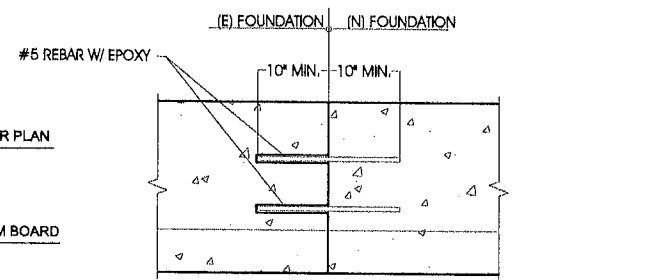


DETAIL - 1
SCALE: 1" = 1'-0"

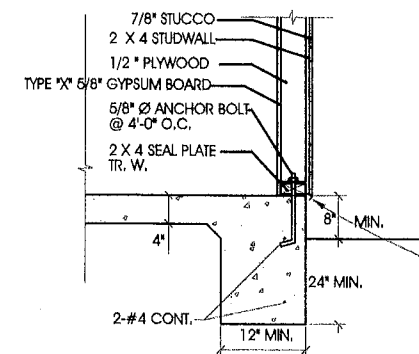
NOTE: THE RADIANT BARRIER SHALL HAVE AN EMITTANCE VALUE OF LESS THAN OR EQUAL TO 0.05 AND BE INSTALLED IN THE UPPER PORTION OF THE BUILDING'S TRUSS/RAFTERS, COVERING THE ENTIRE ROOF/ATTIC INCLUDING GABLE ENDS WITH THE REFLECTIVE SURFACE FACING DOWN TOWARD THE ATTIC.



DETAIL - 2
SCALE: 1" = 1'-0"



DETAIL - 3 NOTE: SPECIAL DEPUTY INSPECTION REQUIRED
SCALE: 1" = 1'-0"



DETAIL - 4
SCALE: 1" = 1'-0"

1. NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH A 3-1/2" FLANGE AT STUCCO SIDING PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREAS. (CRC R703.6.2.1)

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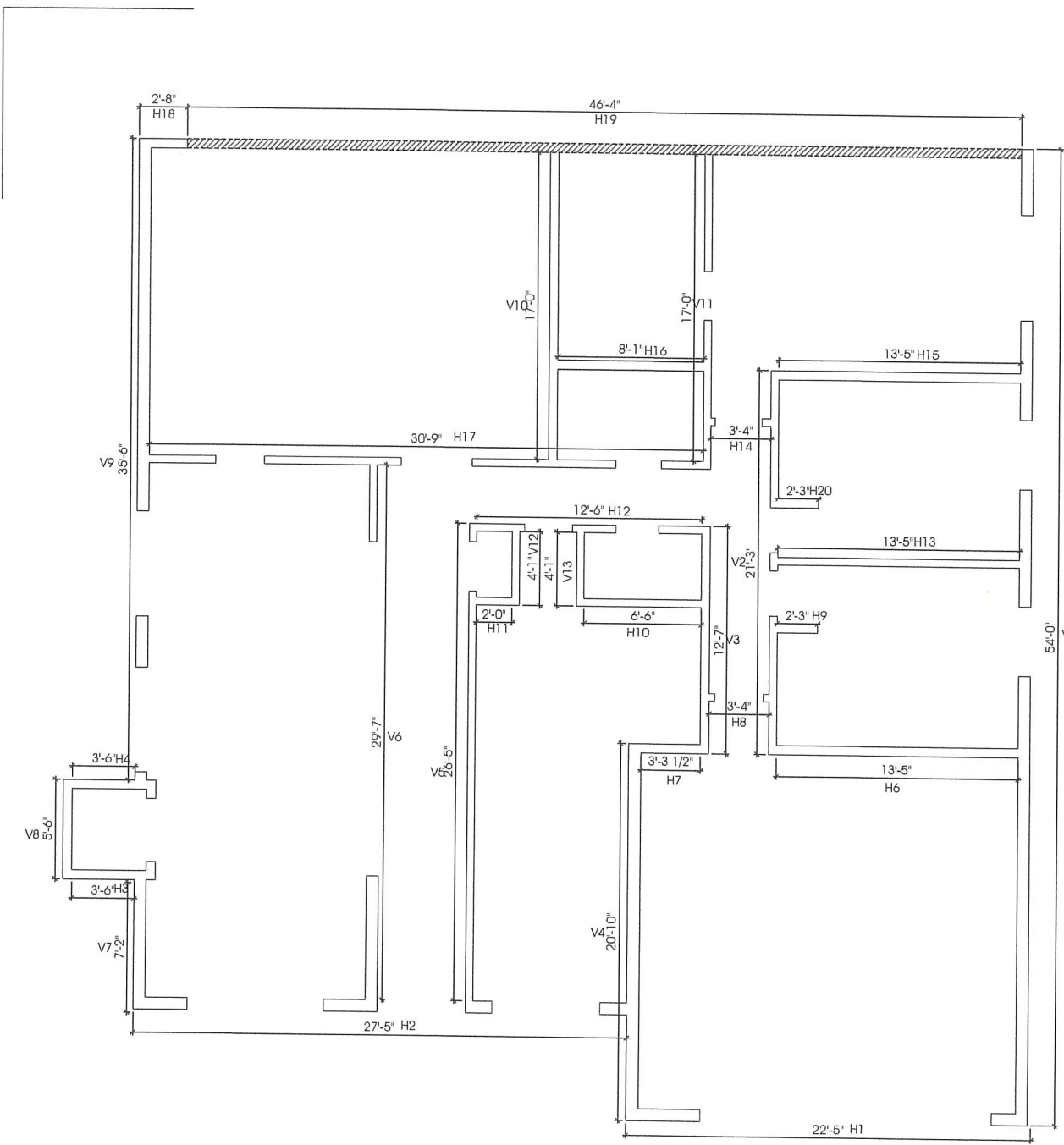
REVISIONS		
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DATE	
JOB NO.	

SHEET NUMBER:

A-5

OF SHEETS



8 DEMOLITION PLAN

Scale: 1/4"=1'-0"

EXIST. WALL TO REMAIN
EXIST. WALL TO BE REMOVED

EX. WALL LENGTH	DEMO WALL LENGTH
V1 64'-0"	H19 46'-4"
V2 21'-3"	
V3 12'-7"	
V4 20'-10"	
V6 28'-5"	
V6 29'-7"	
V7 7'-2"	
V8 6'-6"	
V9 36'-6"	
V10 17'-0"	
V11 17'-0"	
V12 4'-1"	
V13 4'-1"	
H1 22'-6"	
H2 27'-5"	
H3 3'-4"	
H4 3'-4"	
H5 2'-3"	
H6 13'-5"	
H7 3'-3 1/2"	
H8 3'-4"	
H9 2'-3"	
H10 6'-6"	
H11 2'-0"	
H12 12'-4"	
H13 13'-4"	
H14 3'-4"	
H15 13'-5"	
H16 8'-1"	
H17 30'-9"	
H18 2'-8"	
H19 46'-4"	
TOTAL 478.3'	

46.3 / 476.3 = 9.7%

RESIDENTIAL DEMOLITION NOTE:

PARTIAL DEMOLITION OF A RESIDENTIAL STRUCTURE IN ASSOCIATION WITH A CONSTRUCTION PROJECT IS ONLY PERMITTED WHERE INDICATED ON THE APPROVED PLANS. ANY DEMOLITION WORK BEYOND THAT SHOWN ON THE APPROVED PLANS MAY RESULT IN A STOP WORK ORDER (CBC APPENDIX CHAPTER 1 SEC. 113.2) AND/OR REVOCATION OF THE PERMIT (CBC APPENDIX CHAPTER 1 SEC. 105.6). ADDITIONAL DEMOLITION WORK MAY ALSO REQUIRE COMPLIANCE WITH BURBANK MUNICIPAL CODE SEC. 10-1-1810 IF MORE THAN 50% OF THE STRUCTURE IS DEMOLISHED.

SECTION	MEASURES	REQUIREMENTS	Measures provided on plan sheet
CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) - INCORPORATE THESE MANDATORY ITEMS IN THE DESIGN AND CONSTRUCTION OF THE PROJECT AND ADD NOTES TO PLANS AS APPLICABLE. INDICATE IN THE RIGHT HAND SIDE OF THE CHECK LIST WHERE THEY ARE PROVIDED ON THE PLANS:			
PLANNING AND DESIGN (Site Development)			
4.105.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction.	
4.105.3	Grading and Paving	Construction plans shall indicate how site grading or drainage system will manage all surface water flows to keep water from entering buildings.	
4.105.4	Electric Vehicle (EV) Charging for New Construction	Provide capability for electric vehicle charging in one- and two-family dwellings and in townhouses with attached private garages, and 3 percent of total parking spaces, as specified, for multifamily dwellings.	
ENERGY EFFICIENCY			
4.201.1	General	Building meets or exceeds the requirements of the 2016 California Building Energy Efficiency Standards.	
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)			
4.303.1	Water Conserving Plumbing Fixtures and Fittings	WATER CONSERVATION: The project shall demonstrate a 20% reduction in water use by specifying plumbing fixtures and fixtures that meet the flow rates listed below, or through a calculation showing a 20% reduction from baseline values listed in CALGreen Table 4.303.1 and BANC 9-6-403.1. Lavatory faucet - residential: 1.5 gpm Water closets: 1.28 gallons per flush Metering faucets: 0.2 gallon per cycle Showerheads: 2.0 gallons per minute Note: 1. The combined flow rate of multiple shower heads shall not exceed the maximum flow rate, or the shower shall be designed to permit one showerhead to be in operation at a time. 2. The effective flush volume for dual-flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.	
4.303.2	Standards for Plumbing Fixtures and Fittings	Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the 2016 California Plumbing Code, and shall meet the applicable referenced standards.	
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)			
4.304.1	Outdoor potable water use in landscape areas	After Dec 1, 2015, new residential developments with aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options: 1. A local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever more stringent; or 2. Projects with aggregate landscape area less than 2,500 square feet may comply with the MWELO, Appendix D Prerequisite Compliance Option.	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Material Maintenance)			
4.406.1	Roofing	Roofing materials shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)			
4.408.1	Construction Waste Management	Recycle and/or salvage for reuse a minimum of 65% of the non-hazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)			
4.410.1	Operation and Maintenance Manual	An operation and maintenance manual shall be provided to the building occupant or owner.	
4.410.2	Recycling by Occupants	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum)	

01/01/2017

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Corrections on Sheet #	Required		
RESIDENTIAL MANDATORY MEASURES, effective January 1, 2017 (continued)			
SECTION	MEASURES	REQUIREMENTS	Measures provided on Plan Sheet
ENVIRONMENTAL QUALITY (Fireplaces)			
4.503.1	General	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are (NSPS) emission limits as applicable. Woodstoves, pellet stoves and fireplaces shall comply to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.	
ENVIRONMENTAL QUALITY (Pollution Control)			
4.504.1	Covering of Dirt Dampening of Dust Duct Construction	Duct openings and other related air distribution component openings shall be covered during construction.	
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.	
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits.	
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with VOC limits.	
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	
4.504.3	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits.	
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.	
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards.	
ENVIRONMENTAL QUALITY (Interior Moisture Control)			
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.	
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure.	
ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust)			
4.506.1	Bathroom Exhaust Fans	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a) Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of less than 50% to a maximum of 80%. b) A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For the purposes of this section a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans are required in each bathroom.	
ENVIRONMENTAL QUALITY (Environmental Control)			
4.507.2	Heating and Air Conditioning System Design	Duct systems are sized, designed, and equipment is selected using the following methods: 1. Estimate heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2014 (Residential Duct Systems), or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 (Residential Equipment Selection) or equivalent.	
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)			
702.1	Installer Training	HVAC system installers are trained and certified in the proper installation of HVAC systems.	
702.2	Special Inspection	Special inspectors must be qualified and able to demonstrate competence in the enforcing agency in the discipline in which they are inspecting.	
702.3	Documentation	Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial compliance.	
Footnotes: Indicate N/A if not applicable.			
Note: This check list is intended only as an aid to the user and may not contain complete code language. Refer to 2016 CAL Green Chapter 4 for complete code language.			

01/01/2017

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A.A.

CHECKED BY
ARAM M.

DESIGN BY
ARAM M.

SCALE

DATE

JOB NO.

SHEET NUMBER:

A-6

OF SHEETS

memorandum

DATE: November 16, 2017

TO: Alfonso Hernandez, Assistant Planner (ext. 5277)

FROM: Russell Freesland, Senior Plan Check Engineer, Building Division

SUBJECT: Project No. 17-0006301 (Hillside Development Permit)
Located at 3248 N Frederic St

Based on the drawings submitted for this review, the following requirements apply to the project. Additional requirements will be included when complete drawings are submitted for Plan Check. The applicant and/or project designer is responsible for ensuring that all mandatory information required for permit issuance has been addressed on the plans.

DEVELOPMENT REVIEW IS NOT A PLAN CHECK REVIEW. Plan check review requires submittal of complete construction documents and calculations. Questions concerning exiting, fire-resistance, and occupancy should be presented to the Building Division in writing accompanied by appropriate plans.

Please review the following comments.

- All projects shall comply with Title 9, Chapter 1, of the Burbank Municipal Code, and the 2016 edition of the California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and Building Energy Efficiency Standards.
- Construction projects must comply with Best Management Practices for construction and stormwater runoff requirements of the National Pollutant Discharge Elimination System MS4 Permit.
- The City's mandatory Construction & Demolition Debris Diversion Ordinance requires the recycling and diversion of at least 85% of construction and demolition debris. A refundable deposit and non-refundable administrative fee will be collected prior to permit issuance. The Ordinance applies to all demolitions and to new construction, additions, remodels, renovation, tenant improvement and alteration projects over 500 square feet in scope of work.

- A stamped setback certification by a Licensed Surveyor will be required to certify the location of the new construction in relation to the setbacks prior to the first foundation inspection.
- The California Division of Mines and Geology Active Fault Near-Source Zones Map for Burbank indicates the city is within 2 km - 5 km of the Verdugo and Hollywood Faults. Structural design of construction projects must address the impact of the Near-Fault Zones.
- Plans submitted for plan check must be stamped by State-licensed architect or engineer unless the project is one of the following listed below and complies with conventional light wood frame construction requirements in the CBC:
 - Wood-framed, single-family dwellings not more than two stories in height;
 - Wood-framed, multi-family dwellings not more than two stories in height, and limited to four dwelling units per parcel;
 - Wood-framed, garages or accessory structures for single-family dwellings not more than two stories in height;
 - Non-structural or non-seismic storefronts, interior alterations or additions.
- A Building Permit may be issued to the Property Owner provided that the work is limited to:
 - A single-family dwelling of wood frame construction not more than two stories and a basement in height.
 - Garages or other structures appurtenant to single-family dwellings of wood frame construction not more than two stories and basement in height.
 - Nonstructural or non-seismic alterations or additions.
- Approved hours of construction are:
Monday – Friday 7:00 am to 7:00 pm
Saturday 8:00 am to 5:00 pm
No construction is permitted by contractors or subcontractors after hours, on Sunday or on City holidays without prior written request and approval from the Community Development Department.
- New construction projects within the City of Burbank are subject to MWEL0 review. New landscape areas for residential and non-residential projects between 500 and 2,500 square feet requiring a building or landscape permit, plan check or design review will be required to complete, either a Performance or Prescriptive Compliance Method.
- Screening will be required for equipment located in front and side yards. The screening will include the electrical panels, A/C compressor units, gas meters, and transformers. All screening will be subject to approval by Planning and Building divisions, and BWP.

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- Plans and reports submitted for Plan Check Review may be submitted electronically. For more information about the online submittal process, please contact Senior Plan Check Engineer Mario Osuna in Building Division at 818-238-5241.
- All conditions of approval are to be reproduced on the construction document drawings as part of the Approved Construction Set.
- All Departments that have provide Conditions of Approval are to receive a set of drawings for review and have provided final approval stamp on drawings, prior to issuance of Building Permit.
- Seven (7) sets of drawings shall be provided at the time of Plan Check Review. The following lists the necessary sheets per department:
 - Planning – Full set of Plans (C/L/A/S/M/P/E)
 - Building & Safety – Full set of Plans (C/L/A/S/M/P/E)
 - Public Works – Partial set of Plans (C/L/A/M/P/E)
 - Parks & Recreation – Partial set of Plans (C/L)
 - Burbank Water & Power Department – Partial set of Plans (C/L/A/M/P/E)
 - Burbank Police Department – Partial set of Plans (C/A)
 - Burbank Fire Department – Partial set of Plans (A/S)
 - C – Civil
 - L – Landscape
 - A – Architectural
 - S – Structural
 - M – Mechanical
 - P – Plumbing
 - E – Electrical
- Design team to check with Los Angeles County Assessor's information page:
 - Land Square Footage, per LA County Assessor, is 11,502 SF
 - Building Square Footage, per LA County Assessor, is 1,862 SF
 - Lot Coverage calculation show 1,862 SF, while F.A.R. is indicated 2,045 SF for dwelling. Please clarify.
 - City records show no permits to increase dwelling size from 1,862 SF to the listed 2,045 SF

Russell Freesland
Senior Plan Check Engineer
City of Burbank – Building Division
(P) 818-238-5293

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Burbank Water and Power

MEMORANDUM

DATE: November 15, 2017

TO: Alfonso Hernandez, Planning Technician

FROM: Scott Anderson, Senior Electrical Service Planner, BWP

SUBJECT: Project No. 17-6301 (Hillside Development Permit)
3248 N. Frederic St.

Burbank Water and Power (BWP), Electric Services Division, has no comments regarding this Hillside Development Permit:

SA:MT:jg
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ARCH-DESIGN
& CONSTRUCTION CO., INC.

TEL (818) 517-5224

409 IRVING DR.
BURBANK, CA 91504

OWNER
PROJECT
LOCATION
ARMEN BOYAJYAN
PROPOSED ADDITION TO EX.S.F.R
3248 N.FREDERIC ST. BURBANK, CA 91504

BURBANK WATER AND POWER MEMORANDUM

DATE: November 14, 2017

TO: Alfonso Hernandez, Planning Technician

FROM: Run Chen, Principal Civil Engineer

SUBJECT: Project No. 17-6301 (Hillside Development Permit)
3248 N. Frederic St.

The Burbank Water and Power (BWP) Water Division has no objections to approval of the above mentioned permit. Based on the information submitted, such actions will not impact the water system and/or existing service requirements.

Should you have any questions, please contact me at x3500.



BURBANK FIRE DEPARTMENT

Memorandum

TO: Alfonso Hernandez, Planning Technician

FROM: Steve Briggs, Fire Marshal

DATE: November 10, 2017

RE: 3248 Frederic Street, Project No. 17-6301

ALL NOTED INFORMATION PERTAINING TO THE PROPOSED PROJECT SHALL BE SHOWN ON PLANS SUBMITTED AS PART OF THE FIRE DEPARTMENT REVIEW FOR APPROVAL

While we make no attempt to cite all applicable provisions herein, the following code requirements are of special significance for this project:

- Provide construction site security by means of a six-foot high fence maintained around the entire site or a qualified fireguard when required by the Fire Code Official.
- An automatic fire sprinkler system in accordance with the Burbank Municipal Code may be required.
- Provide electrical supervision for all valves controlling the water supply and all water flow switches on all fire sprinkler systems where the number of sprinklers is 20 or more.
- Provide a fire alarm system to notify all occupants of automatic fire sprinkler water flow.
- Provide smoke detection for dwelling units, congregate residences and hotel or lodging guestrooms that are used for sleeping purposes.
- Power and location of smoke detectors in Group R occupancies shall be in compliance with the California Fire Code, California Building Code as amended by the Burbank Municipal Code.
- All existing single-family dwelling units intended for human occupancy shall have installed on or before July 1, 2011 carbon monoxide detectors in accordance with the Health & Safety Code §17926.
- All existing Multi-dwelling units intended for human occupancy shall have installed on or before January 1, 2013 carbon monoxide detectors in accordance with the Health & Safety Code §17926.

All items reviewed are based on information provided at time of review. The comments provided do not limit or relieve the owner and the owner's architect and/or contractor from the responsibility of ensuring compliance with all applicable provisions of fire/life safety codes. Such compliances may include but are not limited to fire department access for fire fighting, including fire department vehicle access, fire water supplies and appurtenances. Further reviews may require additional requirements or limitations as the project develops and is not limited to the requirements provided in these comments.

NOTE: All references are in accordance with the 2016 Edition of the California Fire Code (CFC) and the California Building Code (CBC) as amended by the Burbank Municipal Code (BMC).

For additional information or questions contact the Fire Prevention Bureau at (818) 238-3473.

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BURBANK POLICE DEPARTMENT

DEVELOPMENT REVIEW COMMENTS

Location 3248 N. Frederic St.

PROJECT # 17-6301 DR ☒ CUP ☐ PD ☐ LLA ☐ ZTA ☐

TTM# VACATION ☐ OTHER ☐

Project Name: Residential Addition Planner: Alfonso Hernandez

Checked By: Derek Green Title: Sergeant Date: 11-17-17

Approved By: Derek Green Title: Sergeant Date: 11-17-17

General Requirements

In keeping with the City's intent to upgrade the safety infrastructure and preserve the general quality of life, the requirements listed below shall be met to address the concerns of the Chief of Police and the Police Department for this proposed development:

Note: Highlighted portions are recommendations not codified in BMC.

- All outside lighting shall comply with the requirements of Section 5-3-505 BMC. Required lighting devices shall have vandal resistant covers.
- Secure fencing around the construction site with locking gates and appropriate lighting shall be installed during construction to prevent trespassing and theft. During construction, the Police Department shall be given emergency contact information of contractors and owners for any problems encountered after normal construction hours.
- To ensure that construction personnel are aware of the restricted construction times, the developer shall install professionally made sign(s) 2 ft. X 3 ft. in size in location(s) satisfactory to the City Planner and the Police Department that states, "NOTICE: THE CITY OF BURBANK LIMITS CONSTRUCTION ACTIVITIES OF THIS PROJECT (DEMOLITION, EXCAVATION, GRADING, ACTUAL CONSTRUCTION, AND LANDSCAPING) as follows: 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY, AND FROM 8:00 AM TO 5:00 PM ON SATURDAY. THERE SHALL BE NO WORK PERFORMED ON SUNDAYS OR ON MAJOR HOLIDAYS." Any exceptions would be subject to the approval of the Directors of both the Community Development and Public Works Departments.

- All residential structures shall display a street number in a prominent position so that it is easily visible from the street. The numbers shall be at least four (4) inches in height,

of a color contrasting to the background, and located so they may be clearly seen and read. **The numbers shall be illuminated during darkness. If the structure has rear vehicle access, numbers shall be placed there as well (9-2-505.1(a) BMC). The Fire or Police Departments may require the size of the numbers to be increased or provided in additional locations if the distance from or orientation to the street limits visibility.**

- Multiple family dwelling complexes or any building having a separate identifying factor, other than the street number, shall be clearly identified. Each individual unit shall have a unit identifying number, letter, or combination thereof clearly displayed on or near the door.

For additional information or questions, please contact Sergeant Green at (818) 238-3240 or dgreen@burbankca.gov. The Police Department will be available to review plans and apply an approval stamp for building permits Tuesday through Friday 9:00 to 11:00 AM.

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF ARCH DESIGN & CONSTRUCTION. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF ARCH DESIGN & CONSTRUCTION. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH WORK.

REVISIONS

NO.	ISSUE	BY

DRAWN BY	A.A.
CHECKED BY	ARAM M.
DESIGN BY	ARAM M.
SCALE	
DATE	
JOB NO.	

SHEET NUMBER:

N-1

OF SHEETS

CONDITIONS OF APPROVAL